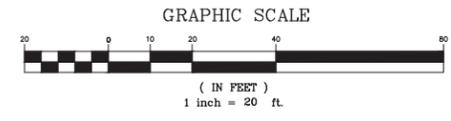
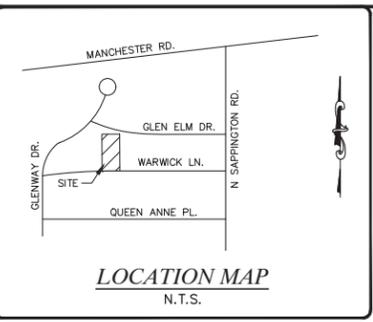


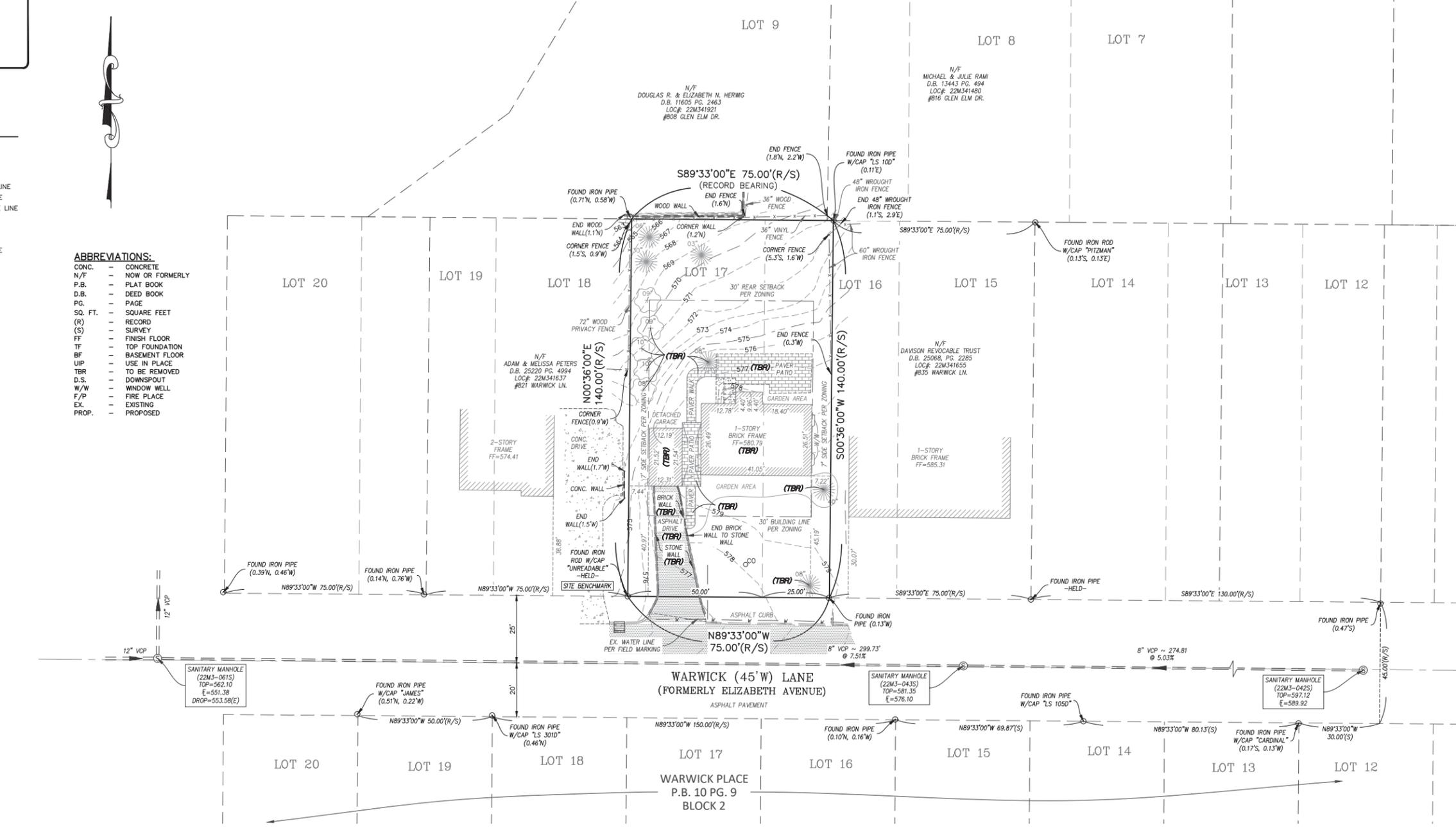
**A TRACT OF LAND BEING PART OF LOT 16 AND ALL OF LOT 17 IN BLOCK 1 OF "WARWICK PLACE"
(P.B. 10 PG. 9) LOCATED IN SECTION 31, TOWNSHIP 45 NORTH, RANGE 6 EAST,
CITY OF GLENDALE, ST. LOUIS COUNTY, MISSOURI.**



LEGEND:

- TREE LINE
- SILT FENCE
- FENCE LINE
- C --- UNDERGROUND CATV LINE
- E --- UNDERGROUND ELECTRIC LINE
- W --- UNDERGROUND WATER LINE
- T --- UNDERGROUND TELEPHONE LINE
- G --- UNDERGROUND GAS LINE
- OH --- OVERHEAD ELECTRIC
- OHW --- OVERHEAD WIRE
- UNDERGROUND SEWER LINE
- BUILDING
- LIGHT STANDARD
- YARD LIGHT
- UTILITY POLE
- UTILITY POLE W/ LIGHT
- UTILITY POLE W/ TRANSFORMER
- GUY WIRE
- TRAFFIC SIGNAL
- WATER SPIGOT
- ELECTRIC METER
- WATER METER
- GAS METER
- WATER VALVE
- GAS VALVE
- GAS DRIP
- ELECTRIC BOX
- CABLE TV BOX
- TELEPHONE BOX
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- STREET/ROAD SIGN
- MISC. POLE/POST
- PARCEL TIE (SAME OWNER)
- FIRE HYDRANT
- UTILITY MANHOLE
- MAIL BOX
- A/C UNIT
- SANITARY MANHOLE
- SANITARY CLEANOUT
- STORM MANHOLE
- CURB INLET / AREA INLET
- GRATE MANHOLE
- GRATE INLET
- BUSH/SHRUB
- TREE
- SURFACE FLOW
- SURFACE FLOW WITH SLOPE
- DENOTES PERMANENT MONUMENT TO BE PLACED UPON COMPLETION OF GRADING AND ROADWAY IMPROVEMENTS 5/8"x24" REBAR WITH METAL CAP STAMPED LS 307-D.
- DENOTES SEMI-PERMANENT MONUMENT TO BE SET
- FOUND IRON PIPE
- CONC. MON./STONE
- CROSS
- CROSS WITH ANCHOR
- CONC. PAVEMENT
- ASPHALT PAVEMENT
- BRICK PAVERS
- GRAVEL

- ABBREVIATIONS:**
- CONC. --- CONCRETE
 - N/F --- NOW OR FORMERLY
 - P.B. --- PLAT BOOK
 - D.B. --- DEED BOOK
 - PG. --- PAGE
 - SQ. FT. --- SQUARE FEET
 - (R) --- RECORD
 - (S) --- SURVEY
 - FF --- FINISH FLOOR
 - TF --- TOP FOUNDATION
 - BF --- BASEMENT FLOOR
 - UIP --- USE IN PLACE
 - TBR --- TO BE REMOVED
 - D.S. --- DOWNSPOUT
 - W/W --- WINDOW WELL
 - F/P --- FIRE PLACE
 - EX --- EXISTING
 - PROP. --- PROPOSED



SITE INFO:
N/F CODY & LISA LAUTERBACH
D.B. 22096 PG. 1925
LOC# 22M341646
#827 WARWICK LN.
10,500 SQ. FT. / 0.241 Ac. ±

ZONING INFO:
R-2 SINGLE-FAMILY RESIDENCE DISTRICT
FRONT : 30' SETBACK PER ZONING
SIDE : 7' SETBACK PER ZONING (MORE THAN 65' IN WIDTH)
REAR : 30' SETBACK PER ZONING
HEIGHT : 35' OR 2 1/2 STORIES

SITE BENCHMARK:
IRON PIPE WITH CAP: 575.01' (NAVDB8)
FOUND IRON PIPE WITH CAP "UNREADABLE" AT THE SOUTHWEST CORNER OF THE SUBJECT TRACT AS SHOWN HEREON

BENCHMARK:
ST. LOUIS COUNTY BENCHMARK
BENCHMARK 14324: ELEVATION = 554.41' (NAVDB8)
"U" ON THE NORTH SIDE OF A CONCRETE BASE FOR AN ELECTRIC SIGN AT #9740 MANCHESTER ROAD; 34' SOUTH OF THE CENTERLINE OF MANCHESTER ROAD AND 71' EAST OF THE CENTERLINE OF MUECK TERRACE.

TITLE NOTES

A CURRENT TITLE COMMITMENT OF THE SUBJECT TRACT HAS NOT BEEN PROVIDED TO THE SURVEYOR. IT IS POSSIBLE THERE ARE EASEMENTS AND OTHER INSTRUMENTS OF RECORD THAT AFFECT THE SUBJECT TRACT THAT WOULD BE EXPOSED IN THE TITLE COMMITMENT REPORT AND ARE UNKNOWN TO THE SURVEYOR AT THE TIME OF SURVEY WAS EXECUTED AND THEREFORE NOT PLOTTED HEREON. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO BUILDING LINES AND EASEMENTS OF THE SUBJECT TRACT ARE SHOWN PER PLAT BOOK 10 PAGE 9. ADDITIONAL BUILDING LINES ARE SHOWN FROM THE CURRENT ZONING CODE OF GLENDALE.

SURVEYOR'S NOTES

- THIS TRACT CONTAINS 10,500 SQUARE FEET OR 0.241 ACRES MORE OR LESS.
- BASIS OF BEARING: THE BEARINGS ARE BASED ON THE RECORD PLAT OF "GLEN ELM ADDITION" AS RECORDED IN PLAT BOOK 36 PAGE 36 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
- SOURCE OF RECORD TITLE: CODY & LISA LAUTERBACH ARE DESCRIBED AS THE OWNERS AS RECORDED IN DEED BOOK 22096 PAGE 1925 OF THE ST. LOUIS COUNTY, MISSOURI RECORDS.
- THE PROFESSIONAL WHOSE SEAL AND SIGNATURE APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE AND DISCLAIMS (PURSUANT TO SECTION 327.411 RSMO) ANY RESPONSIBILITY FOR PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PAGE REFERS.

EXISTING UTILITIES NOTES

- ALL DESTRUCTION OF EXISTING UTILITY TAPS SHALL BE IN ACCORDANCE WITH EACH UTILITY PROVIDER'S SPECIFICATIONS, INCLUDING FEDERAL, STATE, AND LOCAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE TO CONTACT AND IDENTIFY ALL UTILITIES AND PERFORM WORK IN A SAFE AND RESPONSIBLE MANNER.
- THE SERVICEABILITY OF ALL UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR / HOMEOWNER. ANY AND ALL REQUIREMENTS FOR EXISTING OR PROPOSED FLOW RATES, FIRE PROTECTION, CONNECTION FEES OR REQUIRED STUDIES ARE NOT THE RESPONSIBILITY OF THE STERLING COMPANY.
- THE STERLING COMPANY ASSUMES NO RESPONSIBILITY FOR CONTRACTOR'S WORK OR FOR ANY WORK NOT SPECIFICALLY MENTIONED.

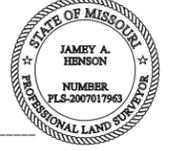


CALL BEFORE YOU DIG!
1-800-DIG-RITE

Plot Plan Prepared by
THE STERLING COMPANY (314) 487-0440

Notes:
1. Finished grades at the building to be a minimum of 6 inches below top of foundation for wood frame and 4 inches below for brick veneer.
2. All wood framing members that rest on top of the foundation located less than 8 inches above the exposed ground and all other wood less than 6 inches from the ground shall be pressure treated in accordance with Section R319.1.
3. Grade shall be noted to slope away from foundation a minimum of a 6 inch drop within the first 10 feet or to a swale.
4. Foundation footings shall be constructed so as to maintain a 2' 6" depth of earth cover or as required by local building codes.
5. This plot plan conforms to "GLENDALE CODE".
6. Elevation Examples: 714.0(8)=Existing Elevation, 714.0(P)=Proposed Elevation.

THIS IS NOT A SURVEY AND DOES NOT MEET THE "MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS" IN EFFECT AS OF THE DATE OF THIS PLOT PLAN.



THE STERLING COMPANY
MO. REG. 307-D

JAMEY A. HENSON, P.L.S.
MO. REG. L.S. #2007017963

ISSUE	REMARKS	DATE
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2		
3		

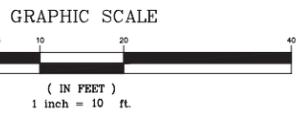
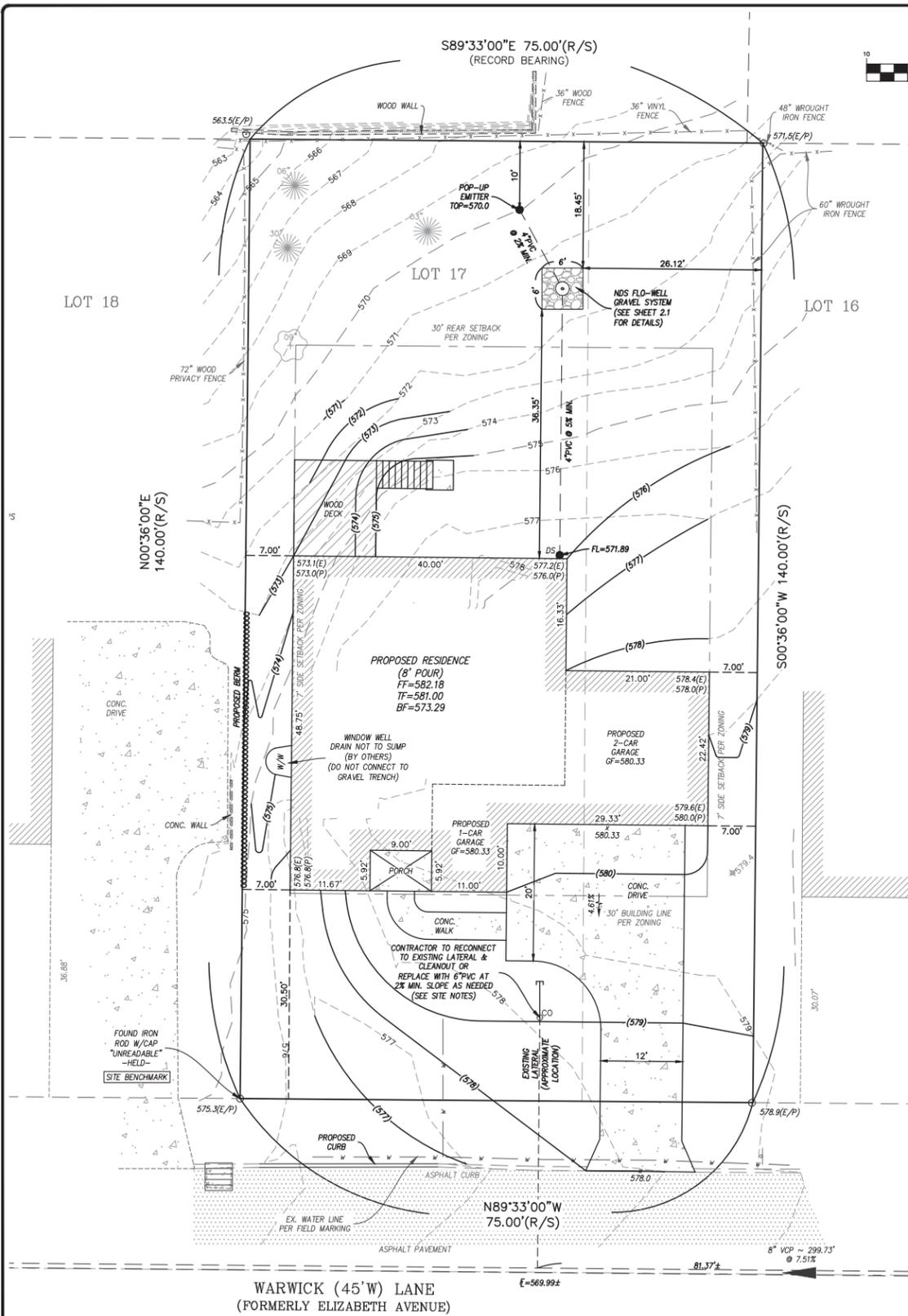
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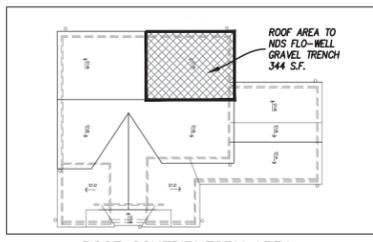
#827 WARWICK LANE
GLENDALE, MISSOURI 63122

NOT APPROVED FOR CONSTRUCTION!
FOR REVIEW ONLY

Date:	23-01-2019
Designed:	HHH
Drawn:	HHH
Checked:	MP
Job Number:	23-01-019
Date:	04/20/2023
Sheet:	1.1



- SITE NOTES:**
1. PROPOSED WATER SERVICE CONNECTION: 1 1/4" TAP
 2. CONTRACTOR TO VERIFY THE SEWER CONNECTION WILL HAVE POSITIVE FLOW TO THE MAIN PRIOR TO STARTING CONSTRUCTION.
 3. THE UTILITY CONNECTION LOCATION AND COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 4. THE EXISTING SANITARY CONNECTION LOCATION IS ASSUMED AND SHALL BE VERIFIED BY THE CONTRACTOR FOR THE USABILITY OF THE CONNECTION.
 5. THE GUTTERS SHALL DISCHARGE TO POP-UP EMITTERS UNLESS NOTED OTHERWISE.
 6. THE PLACEMENT OF THE POP-UP EMITTERS TO BE DETERMINED IN THE FIELD. PLACEMENT SHALL ALLOW FOR STORM WATER TO BE ABSORBED PRIOR TO RUNOFF ONTO ADJACENT PROPERTY.
 7. THE POINT OF STORMWATER DISCHARGE SHALL BE AT LEAST 10 FEET FROM ANY PROPERTY LINE.
 8. THE CONTRACTOR IS TO MAINTAIN THE SHEET FLOW FOR THE STORM WATER AND SHALL NOT CONCENTRATE RUNOFF ONTO ADJACENT PROPERTIES.



DIFFERENTIAL RUNOFF CALCULATIONS

PREDEVELOPED	IMPERVIOUS AREA	PERVIOUS AREA	DIFFERENTIAL RUNOFF
2,735 SF = 0.063 Ac.	7,765 SF = 0.178 Ac.	0.241 Ac.	0.222 cfs
3,215 SF = 0.074 Ac.	7,285 SF = 0.167 Ac.	0.241 Ac.	0.262 cfs
			0.284 cfs
			0.546 cfs

CONCLUSION FOR PROPOSED DEVELOPMENT

DIFFERENTIAL STORM WATER RUNOFF (BASED ON 15-YEAR 20-MINUTE STORM)

DIFFERENTIAL RUNOFF = PROPOSED RUNOFF - EXISTING RUNOFF

= 0.546 CFS - 0.525 CFS

= 0.021 CFS (INCREASE IN IMPERVIOUS AREA)

REQUIRED VOLUME TO BE ATTENUATED FOR = 0.021 x 1200 = 25.20 C.F.

NDS FLO-WELL GRAVEL TRENCH

ROOF AREA = 344 SQ.FT. OR 0.008 AC.

15-YEAR 20-MINUTE RUNOFF = 0.008 AC. X 3.54 CFS/AC. = 0.028 CFS

VOLUME TO BE ATTENUATED FOR = 0.028 X 1200 = 33.60 C.F. > 25.20 C.F. (REQ.)

ONE NDS FLO-WELL GRAVEL SYSTEM ARE PROPOSED TO PROVIDE THE ATTENUATION.

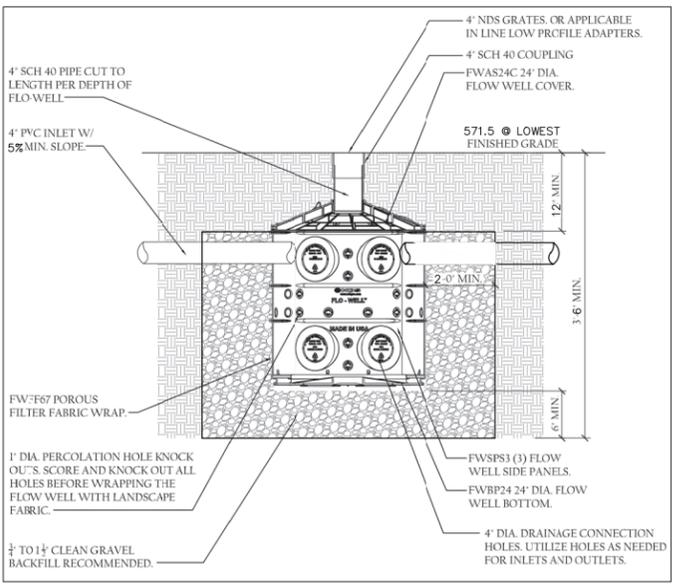
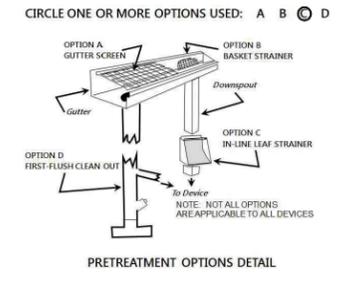
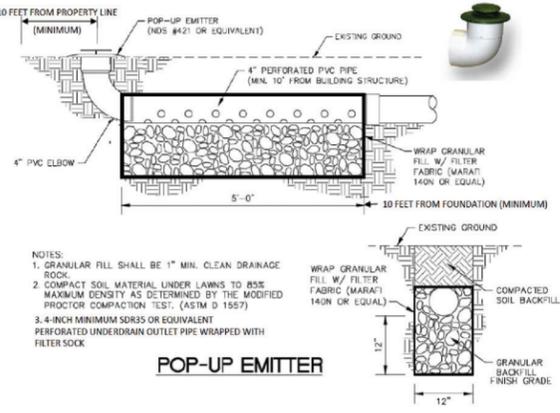
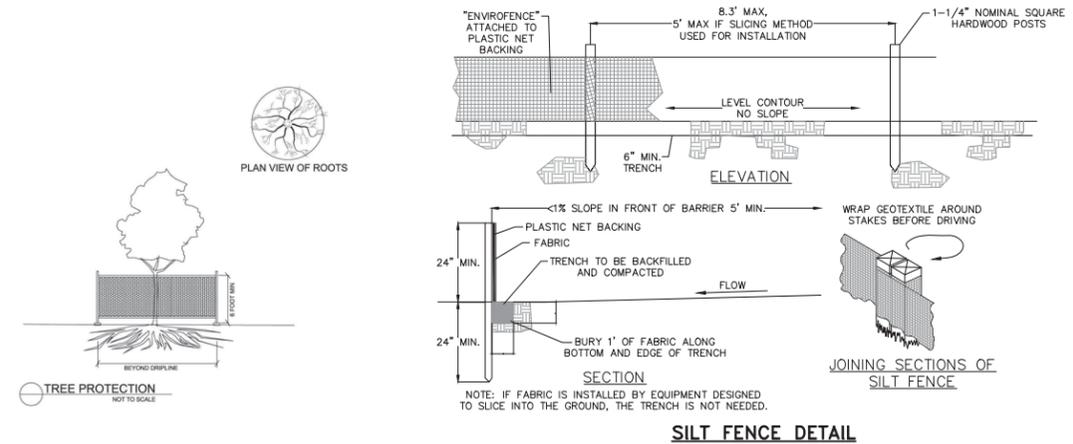
DEPTH OF THE GRAVEL BACKFILL BENEATH THE FLO-WELL: 0.5 FEET.

THE THICKNESS OF THE GRAVEL BACKFILL AROUND THE FLO-WELL: 2.0 FEET.

VOLUME OF WATER TO BE STORED: 41.50 CUBIC FEET > 33.60 C.F.

F-A-R CALCULATIONS		GREEN SPACE CALCULATIONS	
LOT AREA	10,500 SQ.FT.	HOUSE	2,284 SQ.FT.
HOUSE FIRST FLOOR	1,577 SQ.FT.	COVERED PORCH	53 SQ.FT.
HOUSE SECOND FLOOR	1,282 SQ.FT.	DRIVEWAY	786 SQ.FT.
HOUSE TOTAL	2,859 SQ.FT.	SIDEWALK	75 SQ.FT.
ATTACHED GARAGE	677 SQ.FT.	PAV	17 SQ.FT.
ATTACHED GARAGE (50%)	338.5 SQ.FT.	TOTAL IMPROVEMENTS	3,215 SQ.FT.
TOTAL FLOOR AREA	3,197.5 SQ.FT.	LOT AREA	10,500 SQ.FT.
FLOOR AREA RATIO	0.30	GREEN SPACE AREA	30.62%
MAXIMUM FAR IS 0.30 OR 3,500 SQ.FT. (10,000 SQ.FT. < LOT AREA < 20,000 SQ.FT.)			
PER ARCHITECTURAL PLAN			

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.



DEPTH OF THE GRAVEL BACKFILL BENEATH THE FLO-WELL: 0.5'

THE THICKNESS OF THE GRAVEL BACKFILL AROUND THE FLO-WELL: 2.0'

TOTAL VOLUME OF WATER TO BE STORED: 41.50 C.F.

NOTE: FLO-WELL DRY WELL SHALL BE A MINIMUM OF 10 FEET FROM ANY STRUCTURE.

HTTPS://WWW.NDSPRO.COM/PRODUCTS/DRAINAGE/DRY-WELLS.HTML

ISSUE REMARKS/DATE

1	
2	
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#827 HARWICK LANE
GLENDALE, MISSOURI 63122

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Date: Michael G. Boerding, PE License # E28643 Professional Engineer Vice President

Job Number: 23-01-019

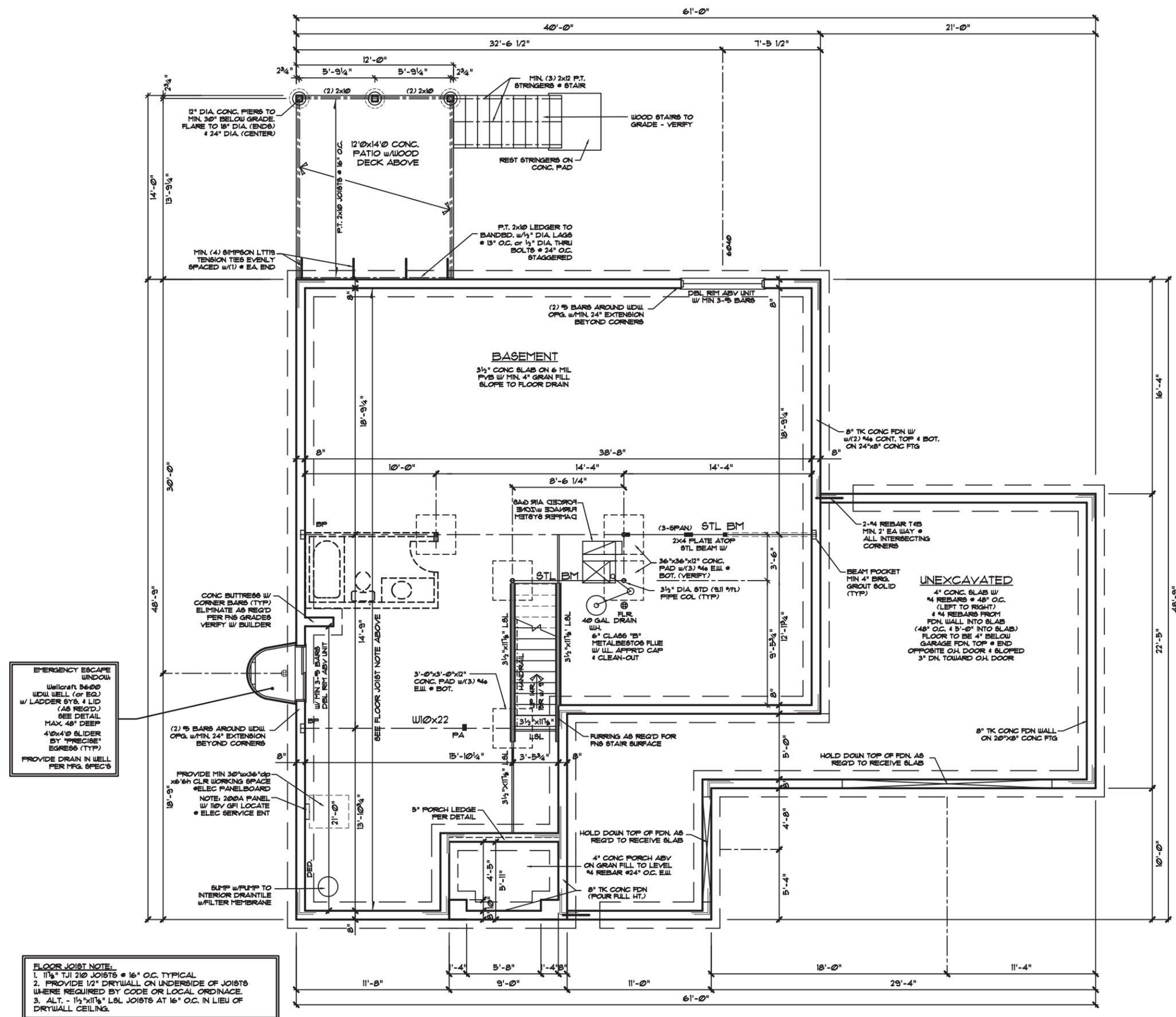
Date: 04/20/2023

Designed: HHH Sheet

Drawn: HHH 2.1

Checked: MGB IMP

Drawing name: V:\2023\019\827\Warwick.Lin\Drawings\Surveying\Plan\23-01-019 Site Plan.dwg Plotted on: Apr 20, 2023 3:46pm Plotted by: rhuynh



FOUNDATION / BASEMENT PLAN

1/8" = 1'-0"



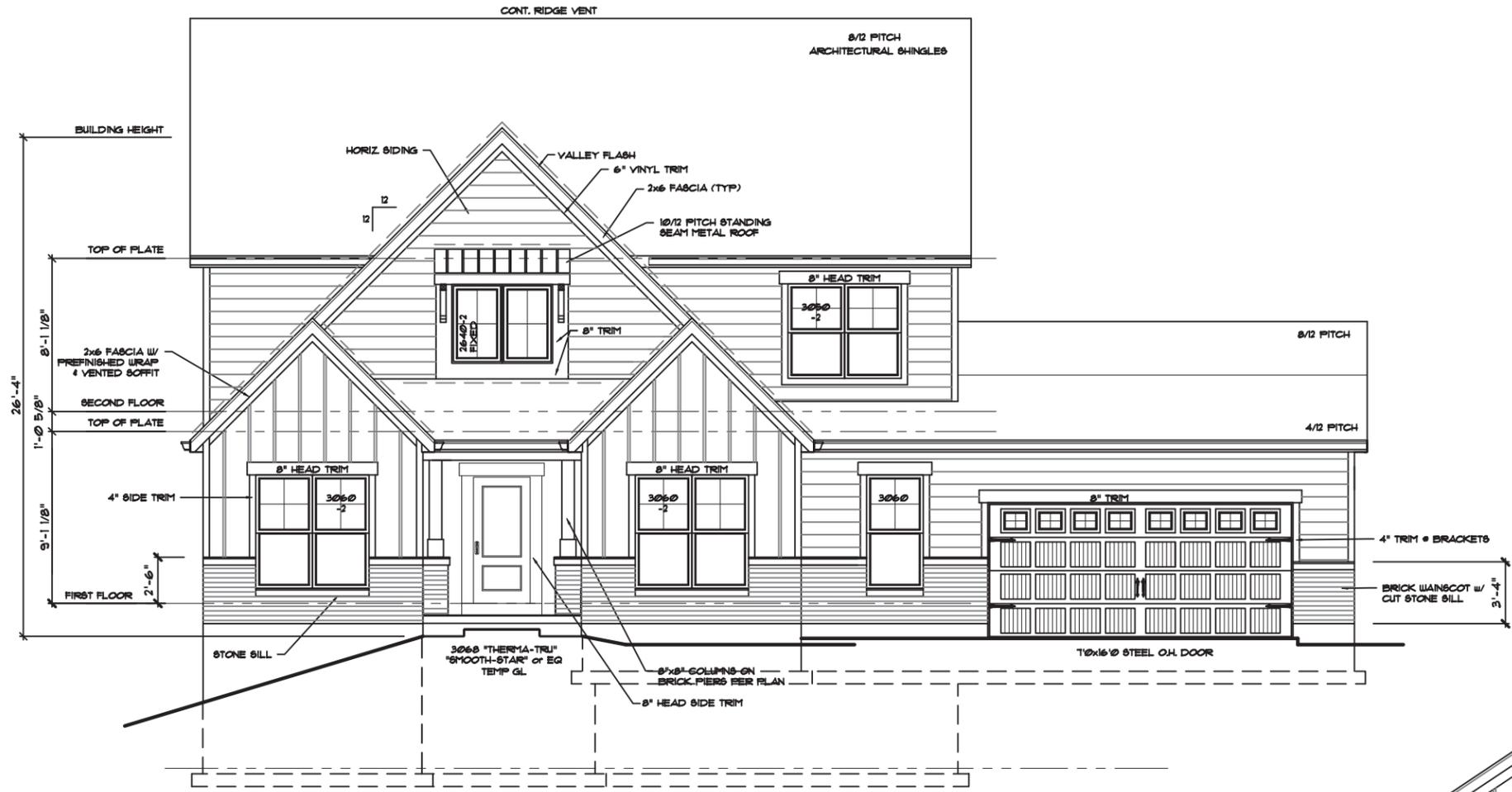
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 FAX (314) 434-2303
 www.boxxarchitect.com

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 (314) 315-0500

THE WAVERLY
 FOUNDATION / BASEMENT PLAN
 827 WARMICK LANE
 GLENDALE, MISSOURI 63122

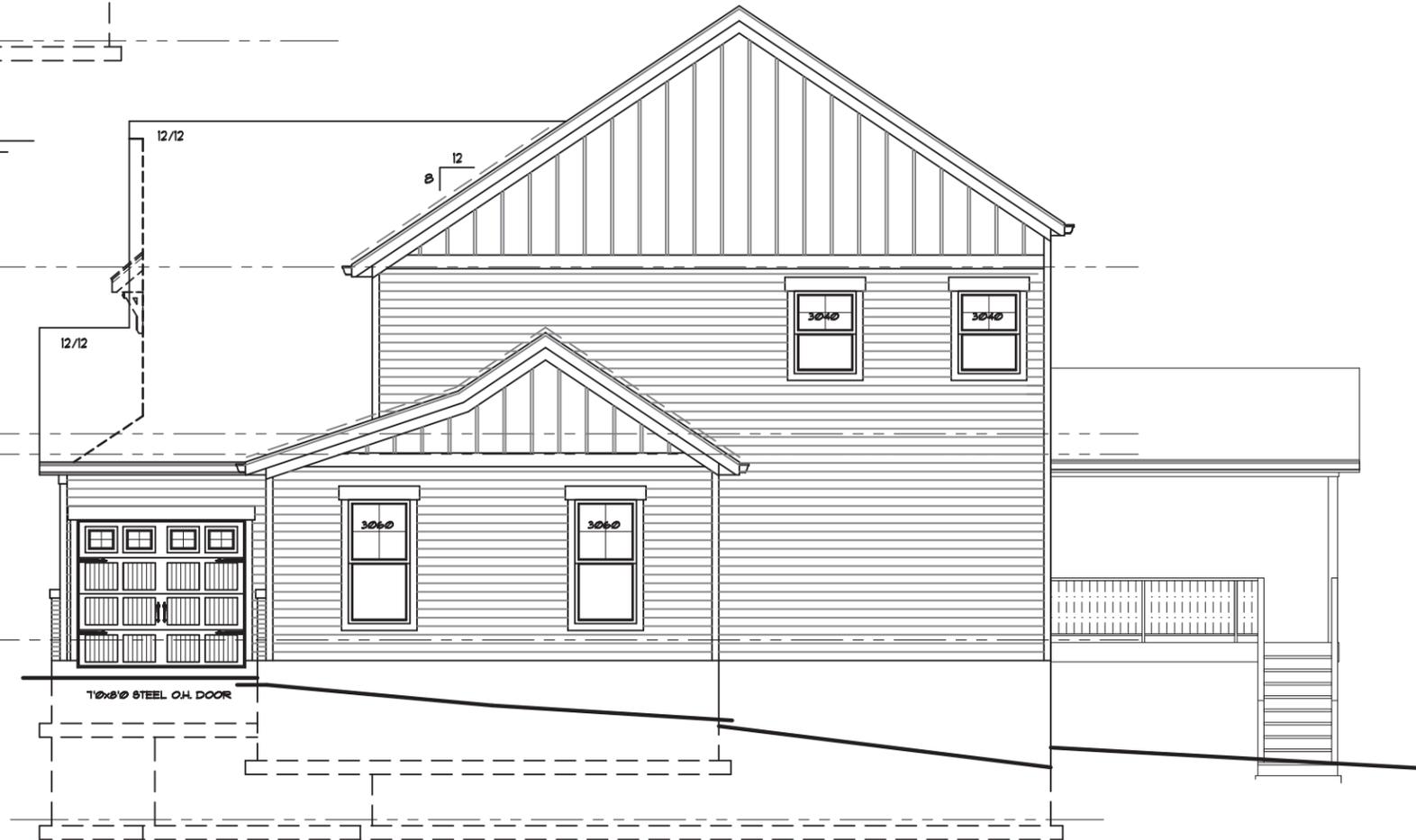
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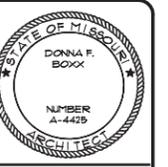
FRONT ELEVATION

1/8" = 1'-0"



RIGHT SIDE ELEVATION

1/8" = 1'-0"



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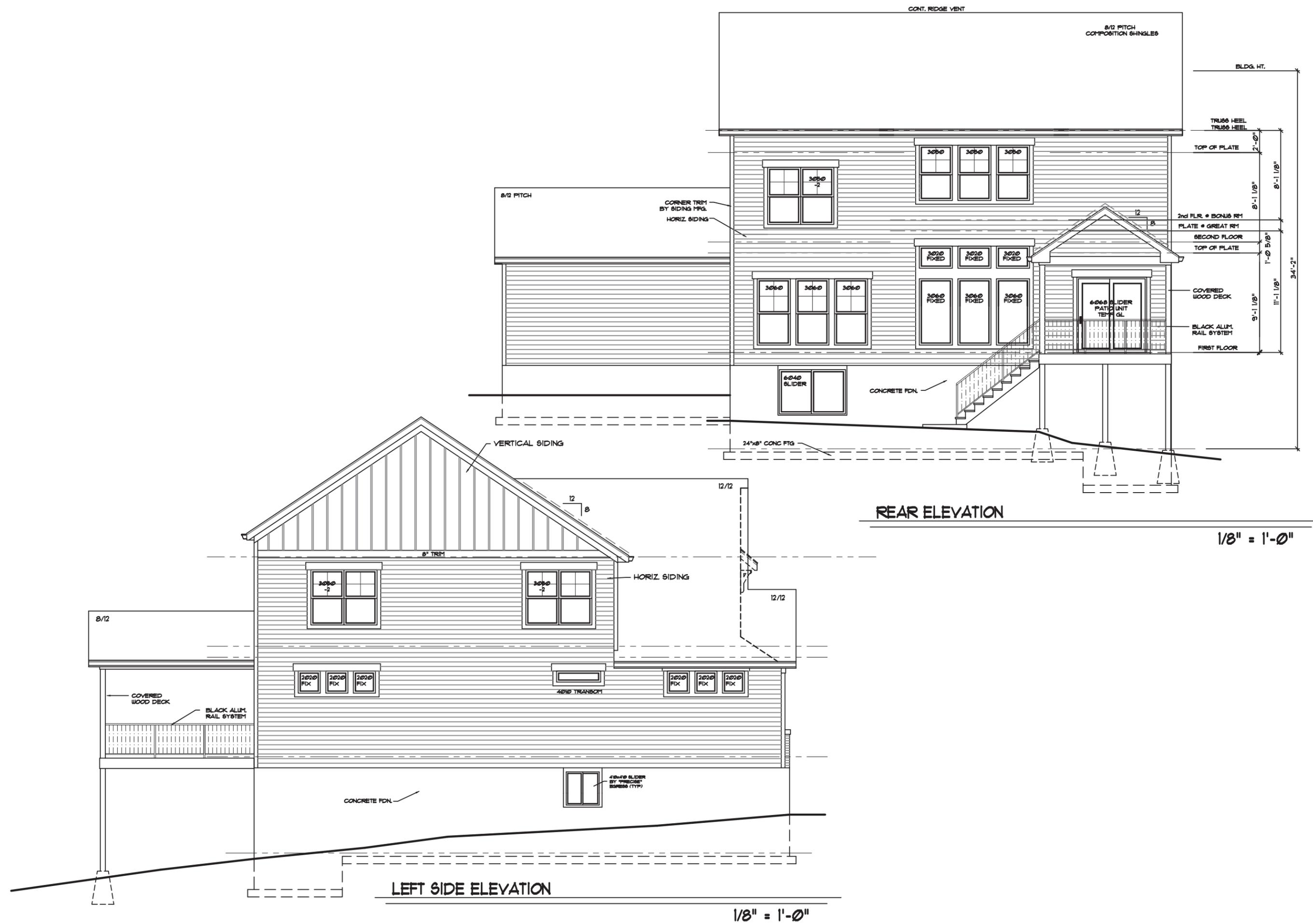


THE WAVERLY

EXTERIOR ELEVATIONS

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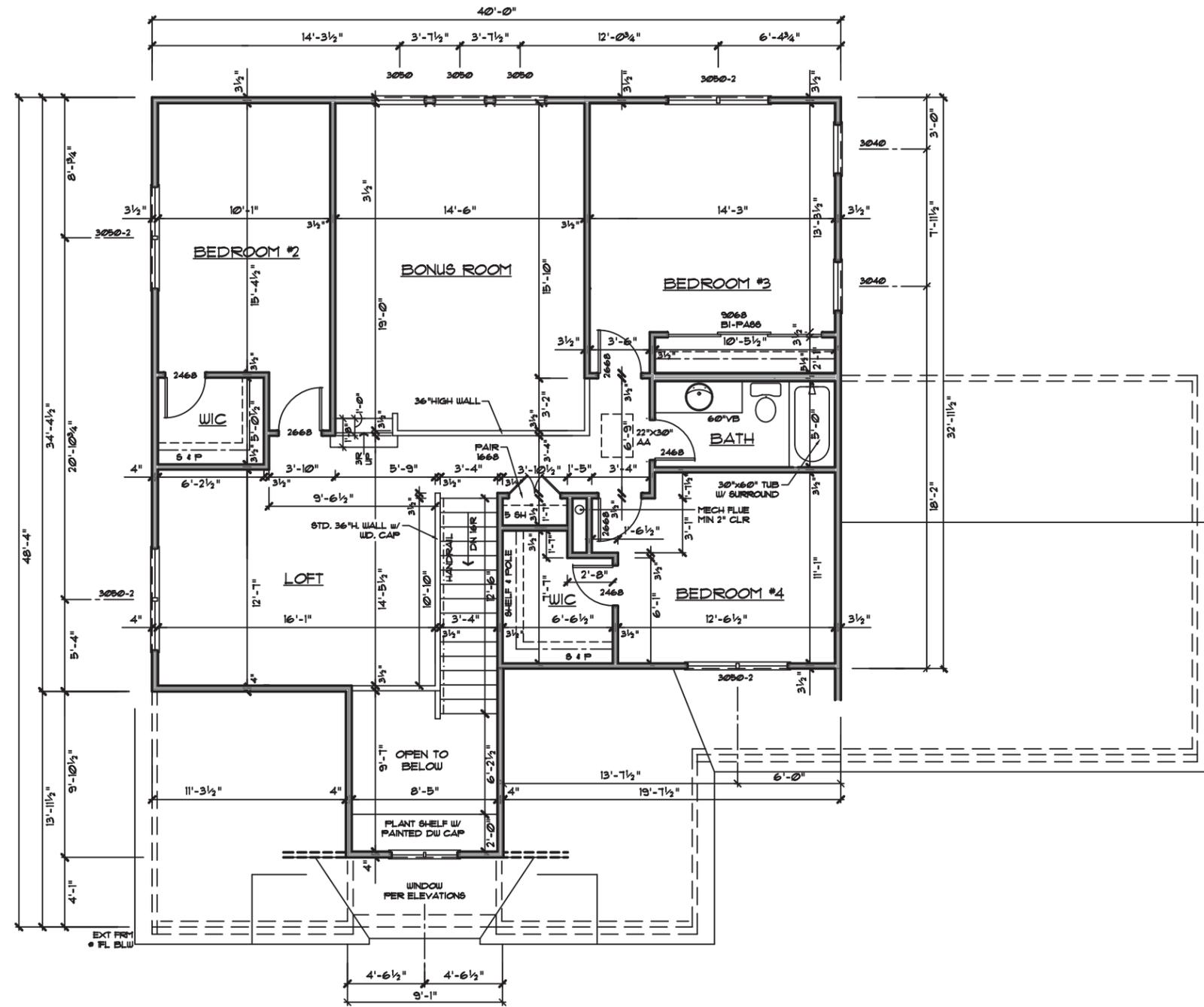
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THE WAVERLY

EXTERIOR ELEVATIONS

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REV.			
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ARB-2			
-- OF -- SHEETS			



SECOND FLOOR PLAN

1/8" = 1'-0"



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SECOND FLOOR PLAN

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DATE	4-21-23	JOB	2023-3
REV.			
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TREE STUDY
SITE PLAN REVIEW
4-26-2023



Install and maintain tree protection fence as indicated on preservation plan for all trees marked SAVE.
Silt protection shall be installed in a trenchless manner if introduced within the critical root zone of any tree to be SAVED. (I.E woodchips, wattles, and hay bales)

I hereby certify that I have viewed the premises and provided this professional opinion regarding the survivability of significant trees on this site and abutting the site. Attached is a site plan illustrating the recommended location of tree protection fencing. This fence is to remain erect throughout the construction project . All tree inspections were performed from the ground and are limited in scope. Tree and utility locations are approximate and locations of utilities are subject to change.

Craig R. Murphy
I.S.A Certified Arborist
IL-9645A



PROPERTY LOCATION: 827 Warwick

#	TREE SPECIES	D B H	SAVE/ REMOVE/ INSTALL	ADJOINING LOT	COMMENTS	VALUE	COND %	TOTAL CANOPY SQ FT
A	black gum	9"	REMOVE		girdling root, storm damage, broken leader DRIVEWAY	\$655	64	143
B	dogwood	5"	REMOVE		minor deadwood DRIVEWAY	\$200	69	16
C	dogwood	5"	SAVE		deadwood, broken leader	\$185	65	16
D	shingle oak	33"	SAVE		ivy, deadwood	\$6480	62	1924
E	hemlock	9"	SAVE		compartmentalized pruning wounds, strong central leader	\$560	70	143
F	white pine	8"	REMOVE		co-dominant leader removed, minor deadwood DECK/ GRADING	\$365	64	113
G	white pine	12"	REMOVE		gummosing wounds on trunk DECK	\$840	65	254
H	white pine	11"	REMOVE		girdling surface roots, deadwood FOUNDATION/ DECK	\$660	61	214
I	white pine	8"	REMOVE		wound on trunk, one-sided, deadwood FOUNDATION	\$310	54	113

#	DATE	DESIG

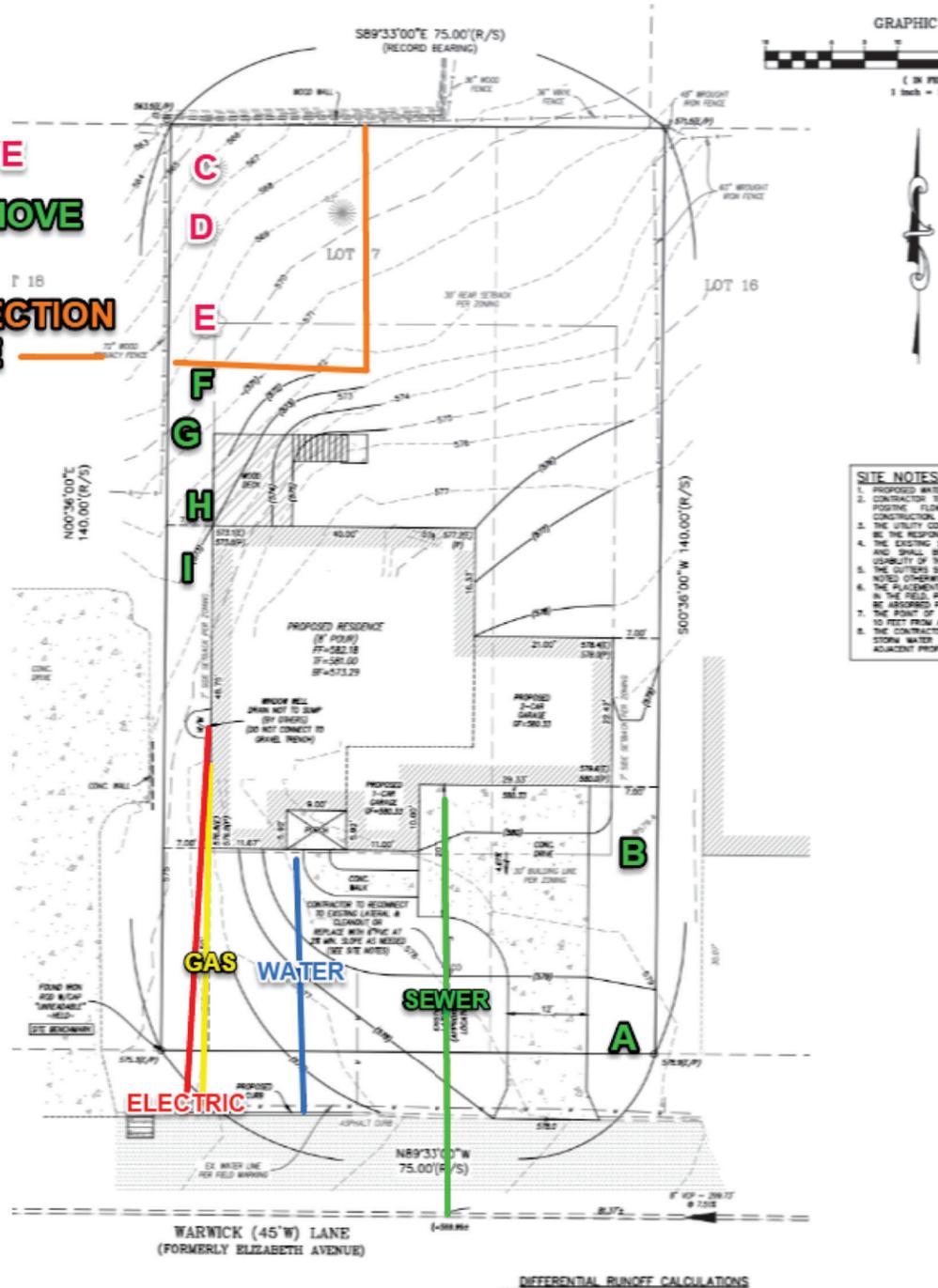
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Tree Preservation

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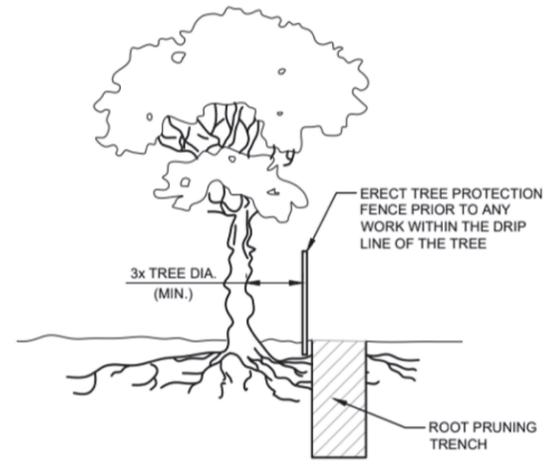
SHEET:
2

A- SAVE
A- REMOVE
TREE
PROTECTION
FENCE



SITE NOTES:

1. PROPOSED WHITE CONTRACTOR TO PROVIDE FIRM CONSTRUCTION.
2. THE UTILITY CO. BE THE RESPONSIBLE PARTY FOR THE EXISTING AND SHALL BE RESPONSIBLE FOR THE PLACEMENT IN THE FIELD. BE ASSIGNED TO THE POINT OF CONTACT WITH THE CONTRACTOR TO COORDINATE WITH ADJACENT PROP.



NOTES:

1. ROOT PRUNING SHALL BE DONE WHENEVER THERE WILL BE GRADING, CUTTING OR COMPACTION DISTURBANCE UNDERNEATH THE DRIP LINE OF A TREE. PRIOR TO ANY WORK WITHIN DRIP LINE, THE CONTRACTOR SHALL ERECT A TREE PROTECTION FENCE AND CONTACT AN ISA CERTIFIED ARBORIST TO COORDINATE WORK. NO DISTURBANCE SHALL BE DONE WITHIN A DISTANCE OF 3X THE DIAMETER OF THE TREE, DUE TO STABILITY CONCERNS.
2. ROOT PRUNING SHALL BE DONE WITH A SHARP TOOL, IN SUCH A WAY THAT DOES NOT PULL ON THE ROOTS, BUT LEAVES SMOOTH CUTS. DO NOT TEAR ROOTS WITH EXCAVATION EQUIPMENT. IT IS PREFERABLE TO EXPOSE THE ROOTS PRIOR TO ROOT PRUNING. AFTER PRUNING, FILL THE AREA WITH QUALITY TOPSOIL AND WATER UNTIL THOROUGHLY SOAKED.
3. ONCE EXPOSED, ROOTS MUST BE COVERED WITHIN 8 HOURS. IF ROOTS WILL BE LEFT EXPOSED FOR LONGER THAN 8 HOURS, THEY MUST BE KEPT MOIST. ONE OPTION IS TO PUT MOIST BURLAP OVER THE EXPOSED ROOTS.

NOTES (CONT.):

4. ROOT PRUNING SHALL MEET OR EXCEED ANSI A300 OR APPROVED TREE CARE INDUSTRY STANDARDS.

DIGGING PROCESS

1. THE PRUNING TRENCH SHOULD BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT.
 - 1.1. USE HAND TOOLS OR AN AIR KNIFE II) DO NOT USE AN EXCAVATOR, AS THIS WILL PULL ON THE ROOTS AND POSSIBLY DAMAGE THE TRUNK III) IF A ROOT LARGER THAN 2" IS EXPOSED, LEAVE THIS ROOT INTACT AND CONTACT LANDSCAPE SERVICES
2. ONCE THE ROOTS ARE EXPOSED, USE A SHARP TOOL TO CLEANLY CUT ALL ROOTS WHICH ARE BETWEEN 1-2" DIAMETER, TO THE DEPTH OF THE PROPOSED DISTURBANCE
 - 2.1. APPROPRIATE TOOLS INCLUDE SHARP LOPPING SHEARS, HANDSAWS, A SHARPENED AXE, A ROOT PRUNER GRINDER, A RECIPROCATING SAW AND ANY OTHER SHARP TOOL WHICH LEAVES A CLEAN CUT
 - 2.2. YOU MAY NOT USE A CHAINSAW OR CHAIN TRENCHER TO MAKE THE FINAL CUTS
 - 2.3. ALL ROOTS SHALL BE LEFT WITH A CLEAN, SMOOTH ENDS AND NO RAGGED EDGES
3. POST PRUNING
 - 3.1. TREE ROOTS MUST BE KEPT MOIST. IF ROOTS ENDS WILL BE LEFT EXPOSED FOR MORE THAN 8 HOURS, COVER THE HOLE WITH MOIST BURLAP.
 - 3.2. FILL THE HOLE WITH HIGH QUALITY TOP SOIL, MULCH THE AREA WITH TRIPLE SHREDDED HARDWOOD TO A DEPTH OF 3", AND WATER WELL.

REVISION TABLE	
#	DATE

695 TRADE CENTER BLVD
 CHESTERFIELD, MO 63005
 314.576.0500

fischer & frichtel
 A Homebuilding Legacy Since 1945

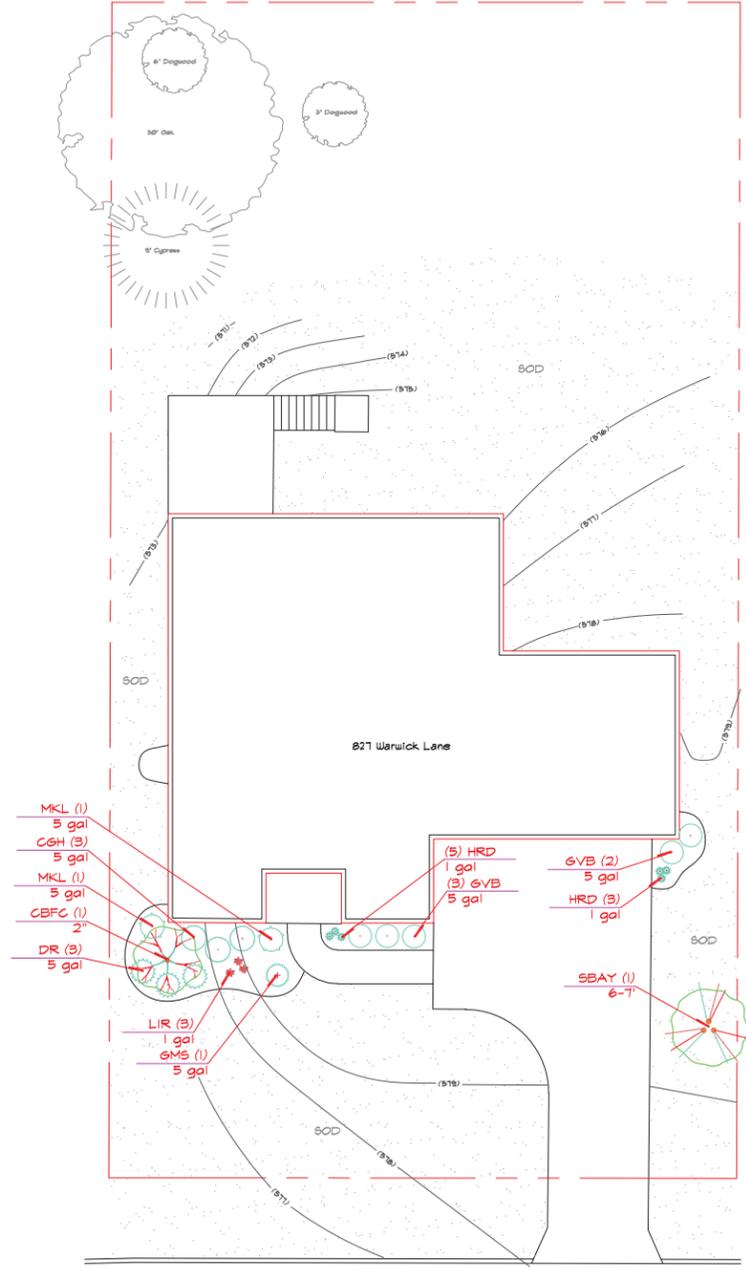
827 Warwick Lane
 Tree Preservation

DATE:
 4/27/2023

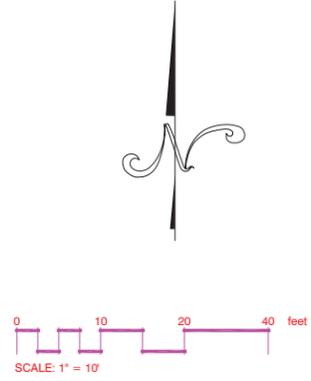
SHEET:
3

PLANT SCHEDULE

TREES	COMMON NAME	CONT	QTY
SBAY	Sweet Bay Magnolia	6-7'	1
CBFC	Coralburst Fl. Crab	2"	1
SHRUBS	COMMON NAME	SIZE	QTY
GVB	Green Velvet Boxwood	5 gal	5
HRD	Happy Returns Daylily	1 gal	6
CGH	China Girl Holly	5 gal	3
LIR	Big Blue Liriope	1 gal	3
DR	Drift Rose	5 gal	3
GMS	Goldmund Spirea	5 gal	1
MKL	Miss Kim Lilac	5 gal	2



WARWICK (45'W) LANE



Drawn By:	CJA
Scale:	1" = 10'
Date:	4-13-23
Revised:	4-24-23

**BAXTER FARMS
and NURSERIES**
3411 CREVE COEUR MILL ROAD
ST. LOUIS, MISSOURI 63146
314/542-9400

Landscaping Planting Plan For:
827 Warwick Lane
Glendale, MO 63127
Prepared For: Fischer & Fritschel Homes

Drawing Number:
L-1
of one



FRONT



REAR



LEFT SIDE YARD



RIGHT SIDE YARD

REVISION TABLE	
#	DATE

695 TRADE CENTER BLVD
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827 Warwick Lane

Existing Site Photos

DATE:

4/27/2023

SHEET:

4



821



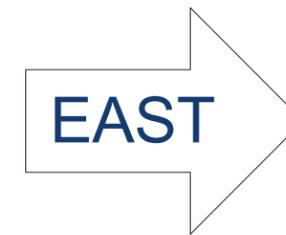
821



835



WARWICK LANE



826



832



838



REVISION TABLE	
#	DATE

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827 Warwick Lane

Streetscape Photos

DATE:
4/27/2023

SHEET:
5



ROOF

GAF Timberline
CHARCOAL



SIDING

Exterior Portfolio
GRAPHITE



MASONRY

General Shale
EVEREST GRAY



FRONT DOOR

Sherwin Williams
INKWELL



EXTERIOR TRIM

Miratec
WHITE

REVISION TABLE	
#	DATE

695 TRADE CENTER BLVD
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827 Warwick Lane

Material Selections

DATE:
4/27/2023

SHEET:
6